

Site Plan



RIVER TERRACE
CROMWELL



1:600 @ A3

Page 2



Patio area with garden and specimen tree planting to master bedroom

Dining patio with optional pergola and deciduous climber to provide shade in summer months

Evening terrace with optional outdoor fireplace

Large format rectangle exposed aggregate paver path to entry

Garage

to shed / workshop →

Specimen tree planting and hedges to frame vehicle courtyard



G.J. Gardner. HOMES
New Zealand's favourite home builders

ph: 03 442 8840
e: queenstown@gjgardner.co.nz

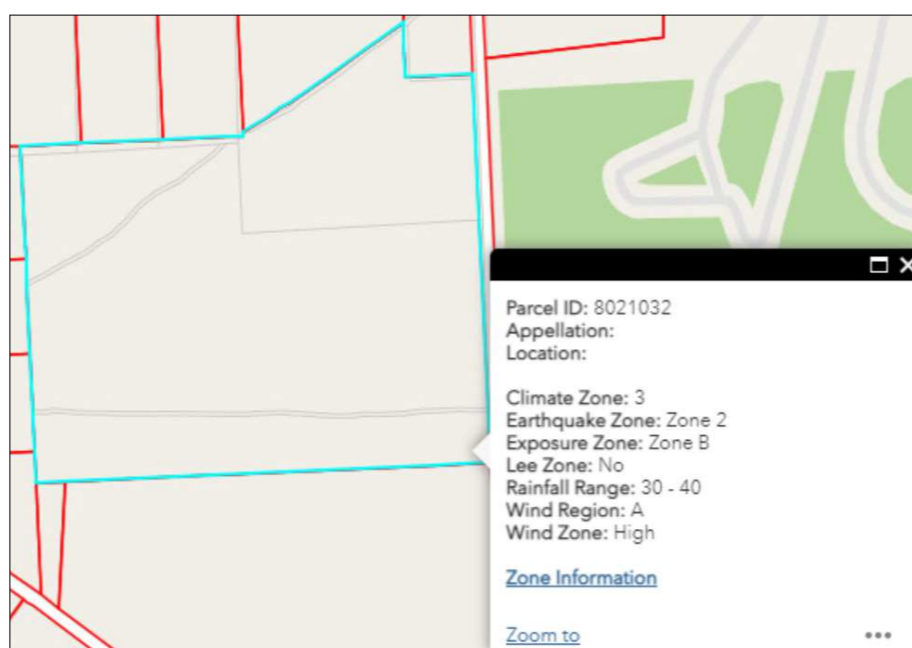
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client:
WINTON PARTNERS

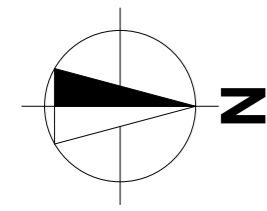
site address:
Lot 5, DPTBC
RIVER TERRACE
CROMWELL

job no:
21-123

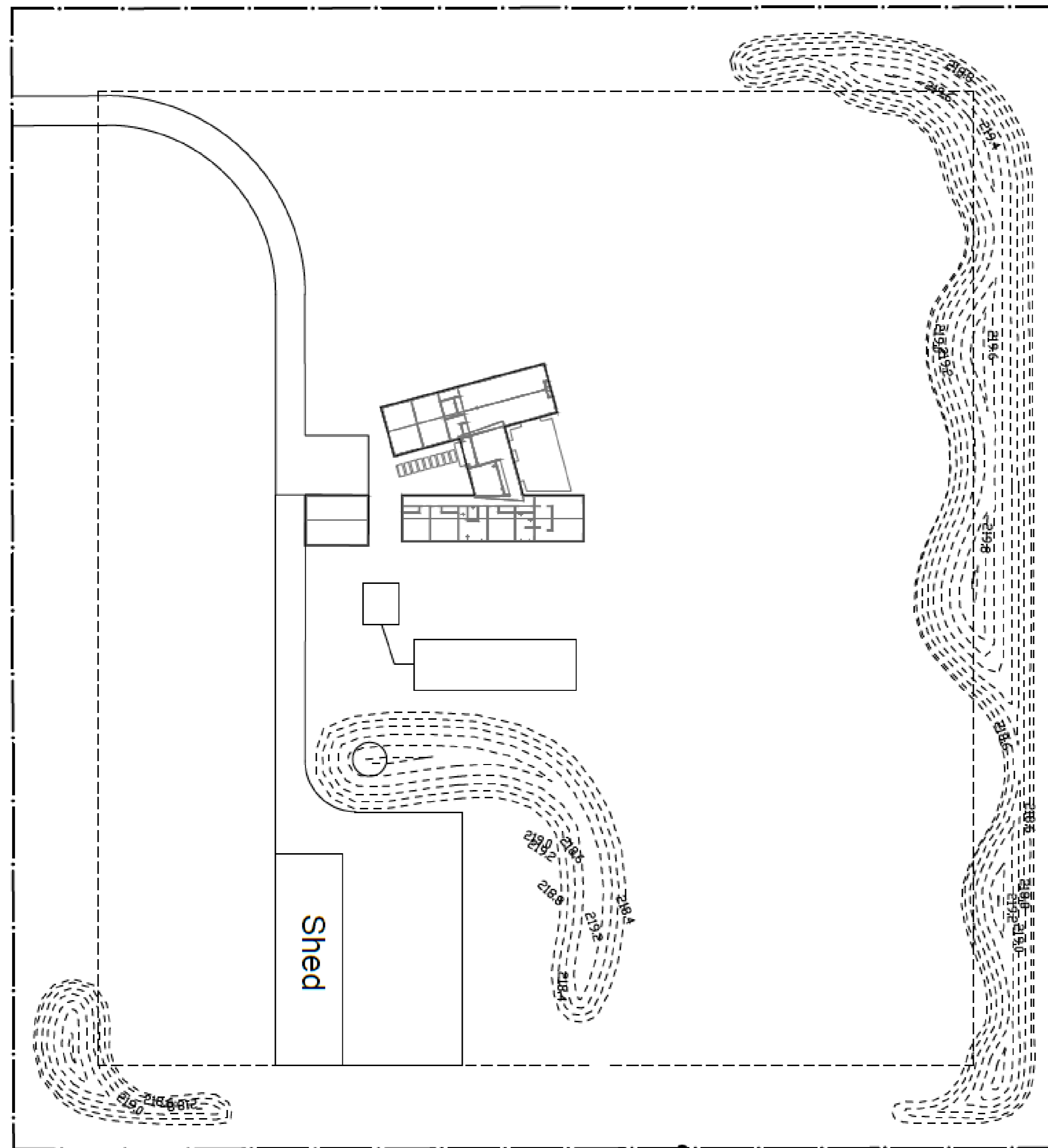


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LOT 5
DP TBC
AREA: 16,700m²
RIVER TERRACE
CROMWELL

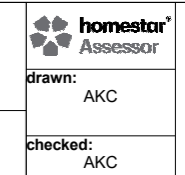


Location Plan



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* ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION COMMENCING *		* ALL CONSTRUCTION MUST BE BUILT IN COMPLIANCE WITH CURRENT NEW ZEALAND BUILDING CODE *	
Owner's signature	all designs and details are copyright to GJ Gardner Homes		
Date			
GJ Gardner Homes' signature	client: WINTON PARTNERS Wind Zone: HIGH AS PER TRUSS TECH REPORT 200960P site address: RIVER TERRACE CROMWELL Lot 5, DPTBC		
Date	job no: 21-123	scale: 1:500 WHEN PRINTED ON A2 PAPER	sheet: 5 date: 28/09/2021



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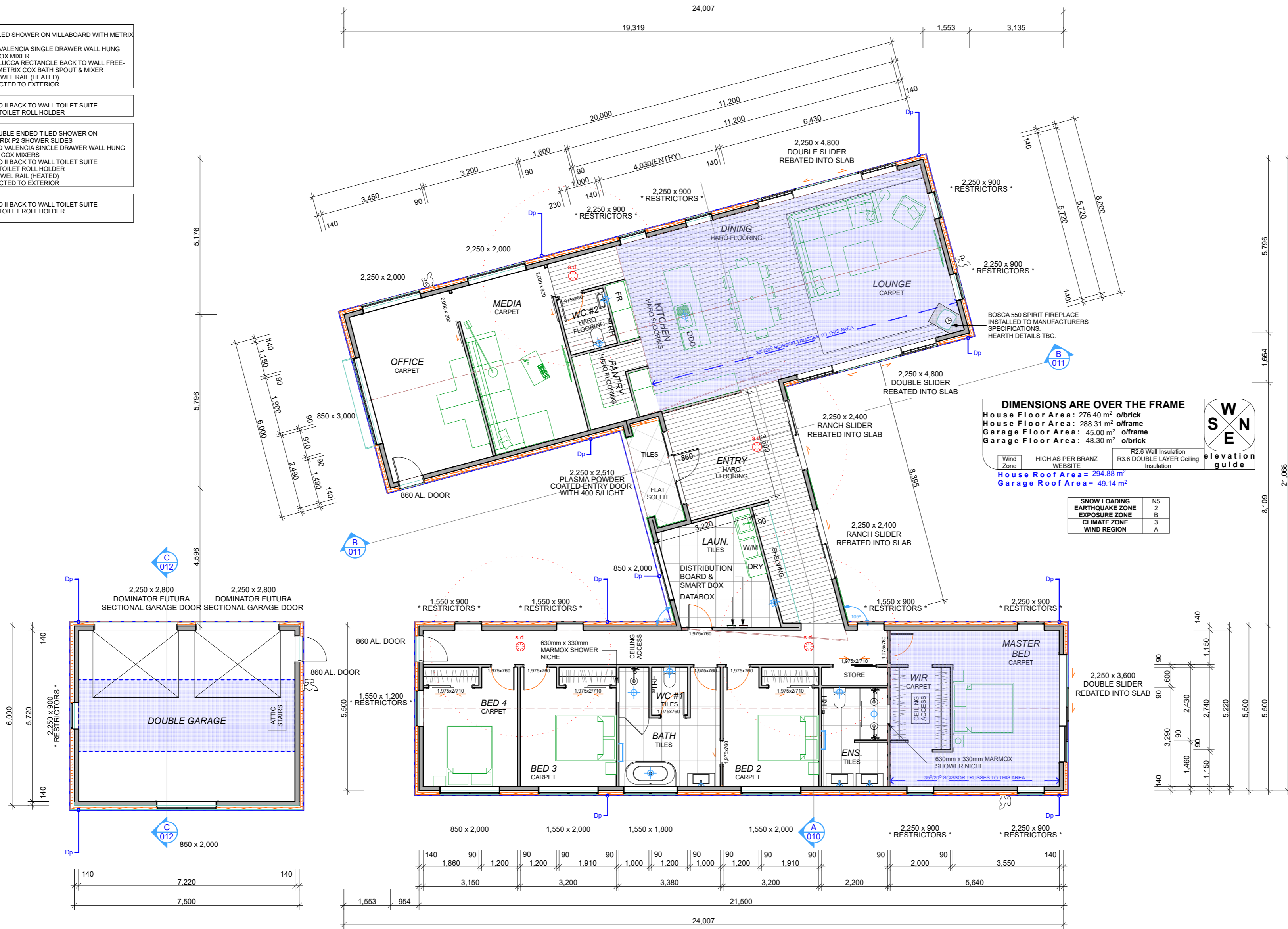
- Notes:**
- TECHNICAL**
- WHERE STUD SPACINGS ARE GREATER THAN 450mm AN INTERMEDIATE MEANS OF RESTRAINING THE BUILDING WRAP AND INSULATION FROM BULGING INTO THE DRAINED CAVITY SHALL BE INSTALLED USING
 - 75mm GALVANIZED MESH
 - POLYPROPYLENE TAPE AT 300mm CENTRES
 - GALVANIZED WIRE AT 300mm CRS FIXED TO DWANGS OVER THE BUILDING WRAP
 - VERTICAL CAVITY BATTENS AT 300mm CRS
 - HORIZONTAL CAVITY BATTENS AT 480mm CRS MAX FOR VERTICAL CLADINGS
 - WIRE OR MESH SHALL BE GALVANIZED IN ACCORDANCE WITH AS/NZS 4534
 - PINK BATTIS ARE FRICTION FITTED WHEN USING STUDS UP TO 600mm CRS. SOUND BATTIS TO INTERNAL WALLS AS NOTED ON PLAN
 - KITCHEN BENCH TOPS TO BE 38mm LAMINATE, CABINETRY TO BE 18mm MELAMINE & SPLASH BACKS TO BE TILED UNLESS OTHERWISE NOTED
 - BOTTOM PLATE ANCHORS MUST BE WITHIN 150mm OF EACH END OF THE PLATE & @ NO MORE THAN 900mm CRS
 - 2515mm FROM FFL TO USIDE OF TRUSSES BOTTOM CHORD THROUGHOUT
 - 13mm GIB LINING TO ALL INTERNAL WALLS
 - ROOF FRAMING**
 - LIGHT STORAGE ATTIC TRUSSES WITH ATTIC STAIRS OVER GARAGE
 - DOUBLE LAYER 13mm GIB LINING TO ALL SCISSOR TRUSS CEILING
 - 13mm GIB LINING TO ALL STANDARD CEILING
 - 13mm GIB AQUALINE TO ALL WET AREA CEILING UNDERLAYS
 - ROOF - PAULOID BITUMINOUS ROOF UNDERLAY
 - WALL - FPS FAKRO EUROTOP N35 WEATHERTIGHT FLEXIBLE WALL UNDERLAY
 - JOINERY**
 - 2250mm HEAD HEIGHT TO ALL JOINERY
 - ALL JOINERY DOUBLE GLAZED WITH THERMAL HEART
 - ALL GLAZING TO COMPLY WITH NZ4223 - 2016
 - HEATING**
 - GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECIFICATIONS. DETAILS TBC. FLUE TO PENETRATE RIDGE
 - HEATED TOWEL RAILS TO BATHROOM AND ENSUITE INSTALLED TO MANUFACTURERS SPECIFICATIONS
 - WARNING SYSTEMS**
 - DOMESTIC SMOKE ALARMS ARE REQUIRED WITHIN 3.0m OF EVERY SLEEPING SPACE DOOR
 - STORMWATER & WASTEWATER DISPOSAL
 - STORMWATER DISPOSAL TO ON SITE DISPOSAL SYSTEM. DETAILS TBC.
 - WASTEWATER DISPOSAL TO ON SITE SEPTIC SYSTEM. DETAILS TBC.
 - FOUNDATIONS**
 - WUL RIBRAFT FLOOR SYSTEM
 - GENERAL
 - DOUBLE LAYER 3.6 INSULATION TO ALL CEILING

- BATHROOM**
- 1000mm x 1690mm TILED SHOWER ON VILBOARD WITH METRIX P2 SHOWER SLIDE
 - 900mm ENGLEFIELD VALENCIA SINGLE DRAWER WALL HUNG VANITY WITH METRIX COX MIXER
 - 1600x800mm LE VIVI LUCCA RECTANGLE BACK TO WALL FREE-STANDING BATH WITH METRIX COX BATH SPOUT & MIXER
 - 600mm NEWTECH TOWEL RAIL (HEATED)
 - EXTRACTOR FAN DUCTED TO EXTERIOR

- WC #1**
- CAROMA CLARK ALTO II BACK TO WALL TOILET SUITE
 - HEIRLOOM VELOSO TOILET ROLL HOLDER

- ENSUITE**
- 900mm x 1740mm DOUBLE-ENDED TILED SHOWER ON VILBOARD WITH METRIX P2 SHOWER SLIDES
 - 2900mm ENGLEFIELD VALENCIA SINGLE DRAWER WALL HUNG VANITIES WITH METRIX COX MIXERS
 - CAROMA CLARK ALTO II BACK TO WALL TOILET SUITE
 - HEIRLOOM VELOSO TOILET ROLL HOLDER
 - 600mm NEWTECH TOWEL RAIL (HEATED)
 - EXTRACTOR FAN DUCTED TO EXTERIOR

- WC #2**
- CAROMA CLARK ALTO II BACK TO WALL TOILET SUITE
 - HEIRLOOM VELOSO TOILET ROLL HOLDER
 - 280mm x 500mm WHB



DIMENSIONS ARE OVER THE FRAME

House Floor Area: 276.40 m² o/brick
 House Floor Area: 288.31 m² o/frame
 Garage Floor Area: 45.00 m² o/frame
 Garage Floor Area: 48.30 m² o/brick

House Roof Area = 294.88 m²
 Garage Roof Area = 49.14 m²

Wind Zone	HIGH AS PER BRANZ WEBSITE	R2.6 Wall Insulation
		R3.6 DOUBLE LAYER Ceiling Insulation

SNOW LOADING	N5
EARTHQUAKE ZONE	Z
EXPOSURE ZONE	B
CLIMATE ZONE	3
WIND REGION	A

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WINTON PARTNERS

Wind Zone: HIGH AS PER BRANZ TECH REPORT 200960P

site address:
 RIVER TERRACE
 CROMWELL
 Lot 5, DPTBC

job no: 21-123
 scale: 1:100
 WHEN PRINTED ON A2 PAPER
 sheet: 6
 drawn: AKC
 checked: AKC
 date: 28/09/2021

Owner's signature: _____
 Date: GJ Gardner Homes' signature

homestar Assessor logo

CORNERSTONE DESIGN

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 e: info@cornerstonedesign.co.nz



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Floor Plan

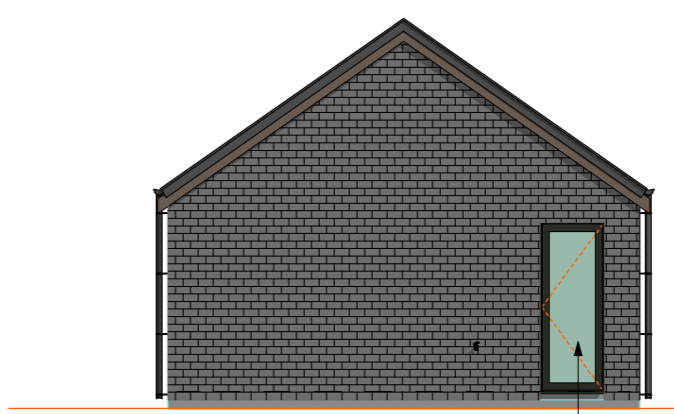
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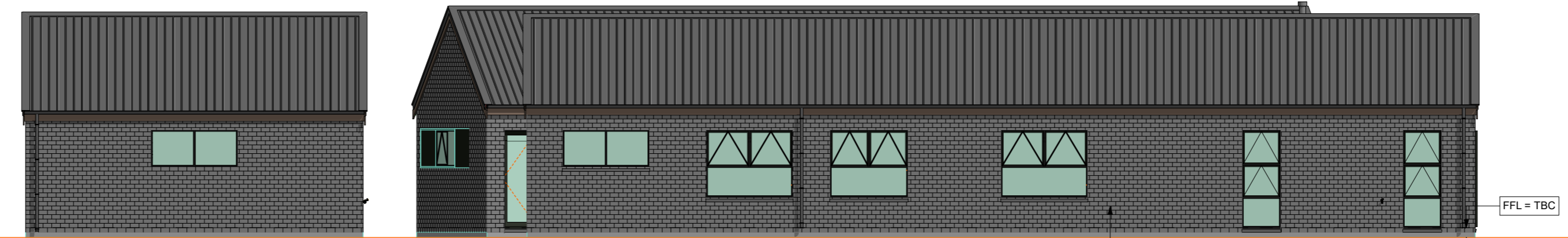
HOUSE NORTH Elevation

1:100



GARAGE NORTH Elevation

1:100



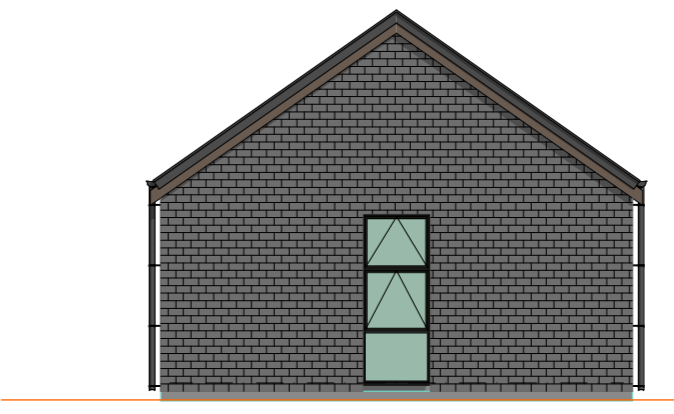
HOUSE & GARAGE EAST Elevation

1:100



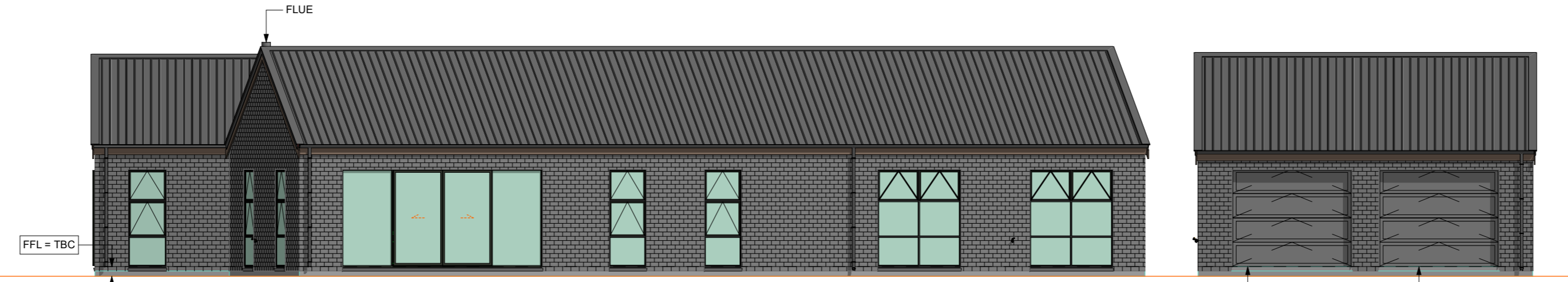
HOUSE SOUTH Elevation

1:100



GARAGE SOUTH Elevation

1:100



HOUSE WEST Elevation

1:100



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homestar Assessor

Owner's signature _____

Date GJ Gardner Homes' signature _____

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G.J. Gardner HOMES
New Zealand's favourite home builder

ph: 03 442 8840
e: queenstown@jgardner.co.nz
client

WINTON PARTNERS
Wind Zone: HIGH AS PER TRUSS TECH REPORT 200960P
site address:
RIVER TERRACE
CROMWELL
Lot 5, DPTBC

job no: 21-123
scale: 1:100
WHEN PRINTED ON A2 PAPER
sheet: 7
drawn: AKC
checked: AKC
date: 28/09/2021

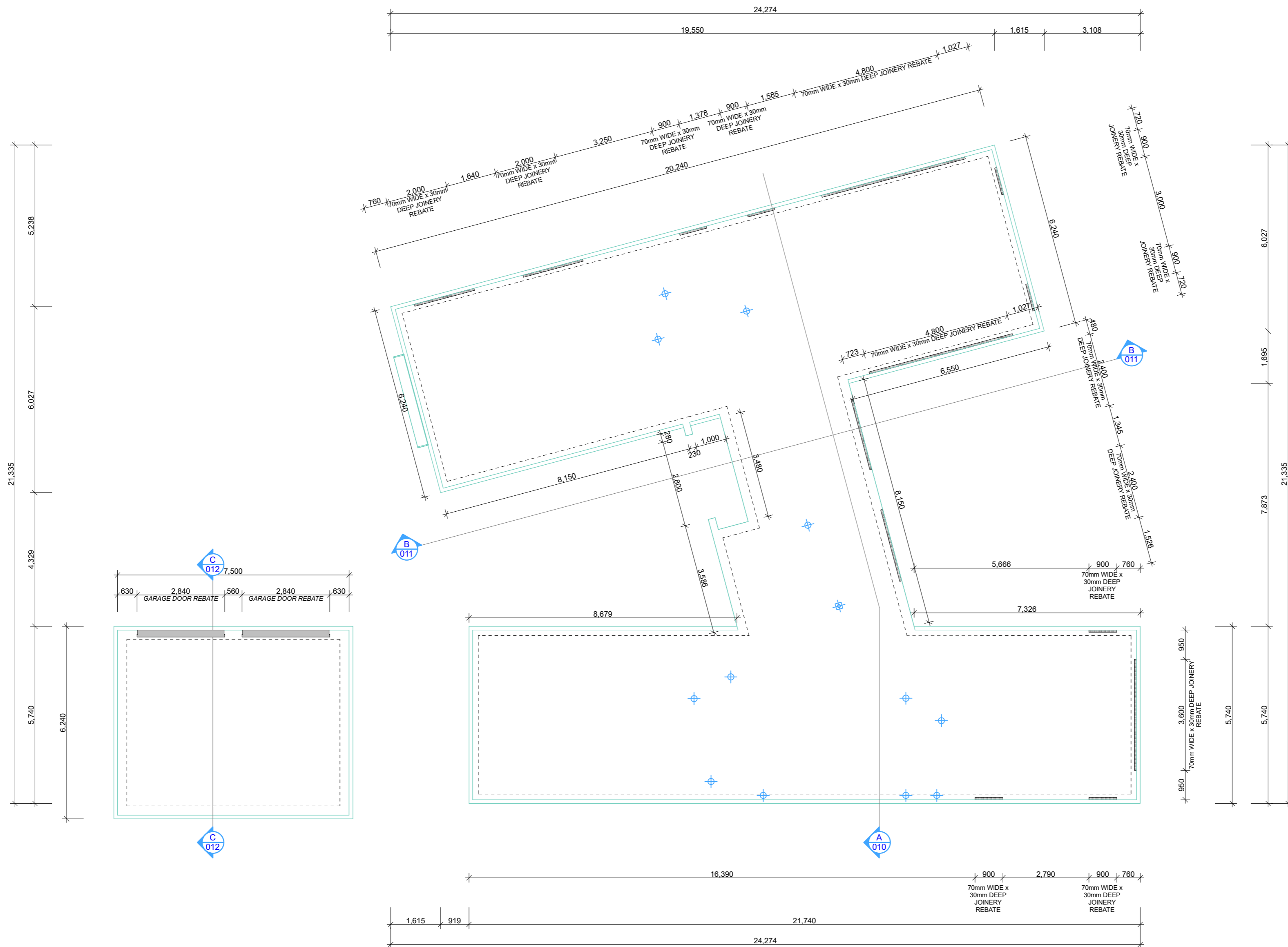
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CORNERSTONE DESIGN

Elevations

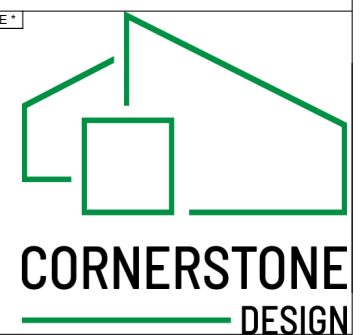
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		<p>job no: 21-123</p> <p>scale: 1:100 WHEN PRINTED ON A2 PAPER</p> <p>sheet: 11</p>					

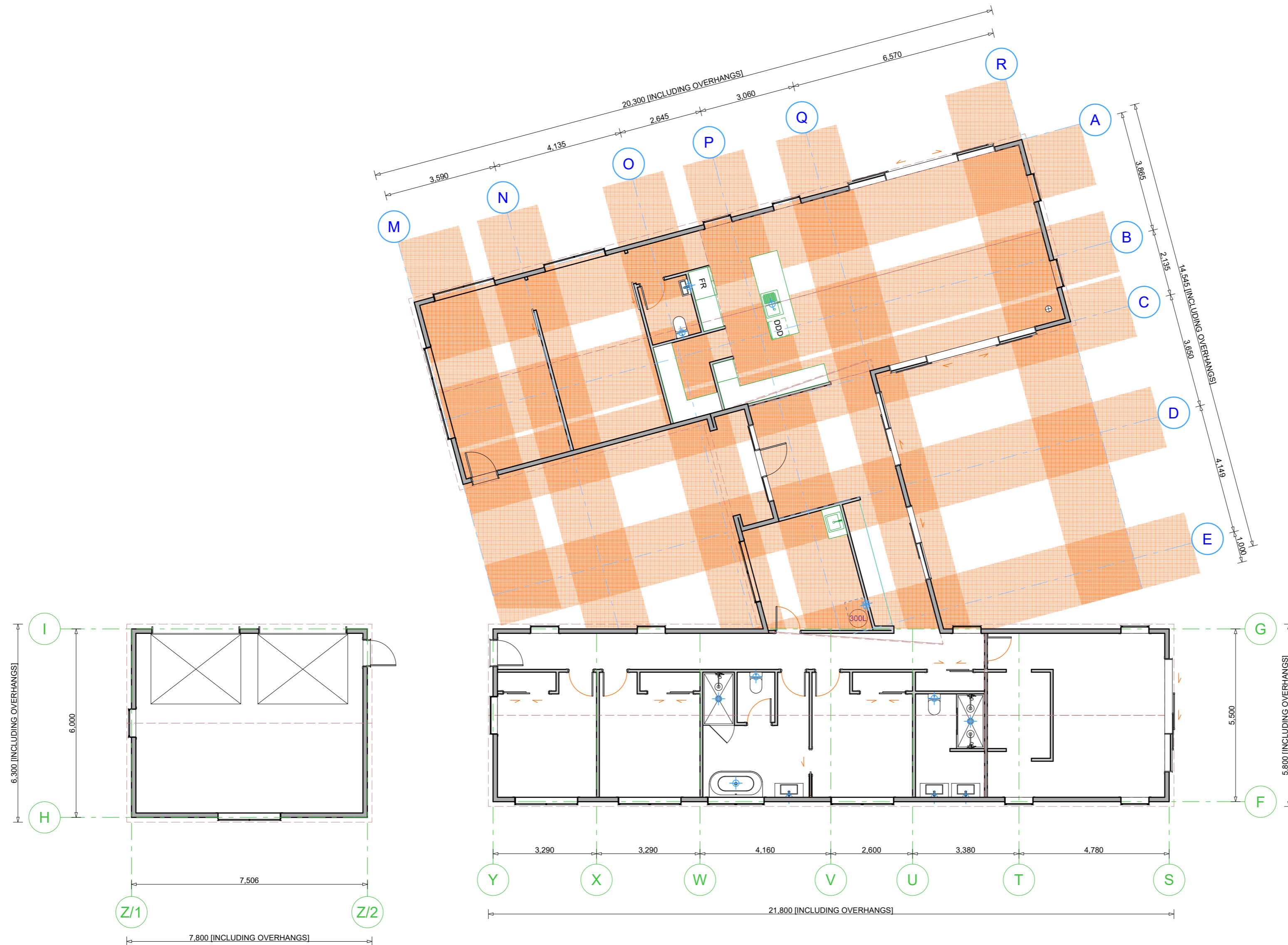


Foundation Engineering Plan

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Notes:

PRYDA BRACKETS
MAY BE USED AS A
HANDIBRACK
SUBSTITUTE



Bracing Plan



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Date	200960P		
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	Lot 5, DPTBC		
	ph: 03 442 8840	job no: 21-123	scale: 1:100
	e: queenstown@gjgardner.co.nz	WHEN PRINTED ON A2 PAPER	sheet: 12
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Electrical Plan



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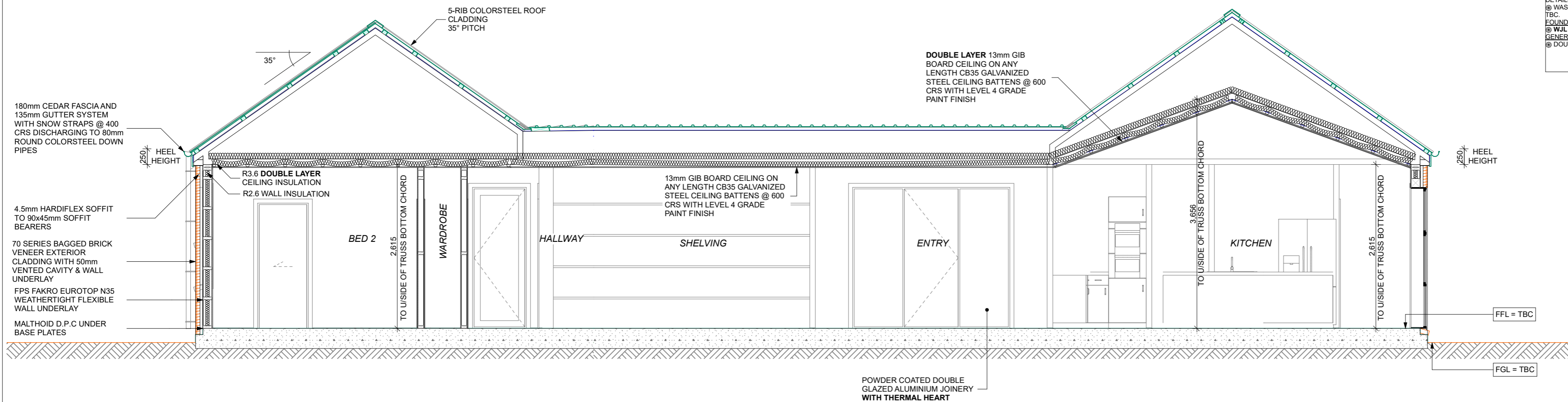
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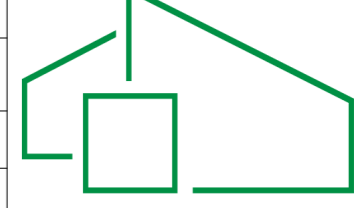
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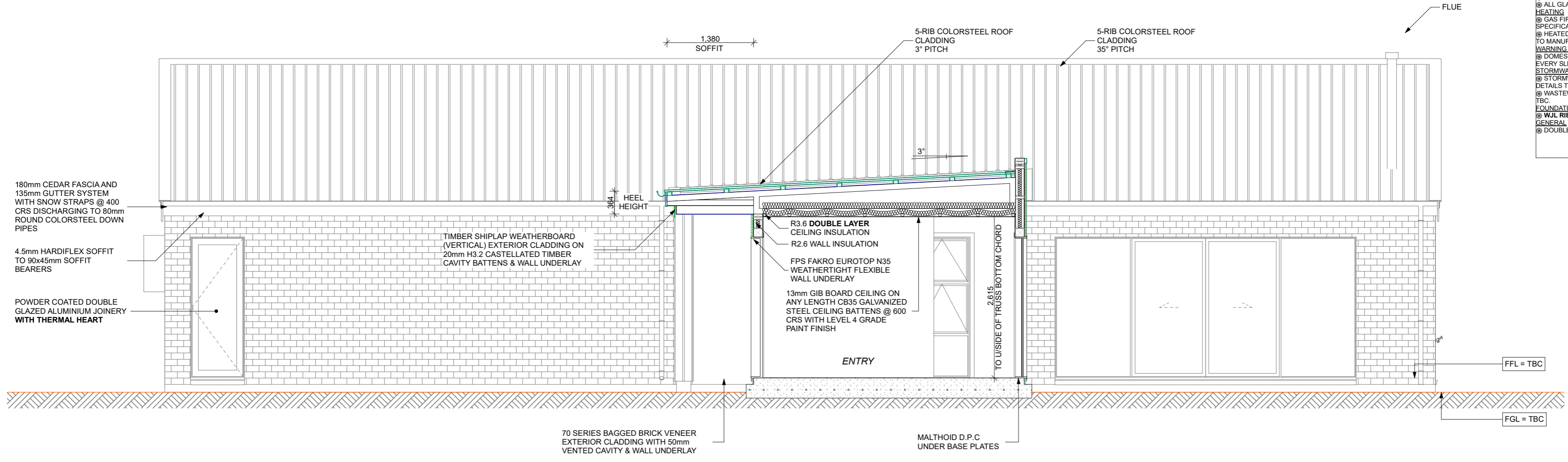
Cross Section A



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 - c) GALVANIZED WIRE AT 300mm CRS FIXED TO DWANGS OVER THE BUILDING WRAP
 - d) VERTICAL CAVITY BATTENS AT 300mm CRS
 - e) HORIZONTAL CAVITY BATTENS AT 480mm CRS MAX FOR VERTICAL CLADDINGS
 - Ⓢ WIRE OR MESH SHALL BE GALVANIZED IN ACCORDANCE WITH AS/NZS 4534
 - Ⓢ PINK BATTIS ARE FRICTION FITTED WHEN USING STUDS UP TO 600mm CRS. SOUND BATTIS TO INTERNAL WALLS AS NOTED ON PLAN
 - Ⓢ KITCHEN BENCH TOPS TO BE 38mm LAMINATE, CABINERY TO BE 18mm MELAMINE & SPLASH BACKS TO BE TILED UNLESS OTHERWISE NOTED
 - WALL FRAMING**
 - Ⓢ BOTTOM PLATE ANCHORS MUST BE WITHIN 150mm OF EACH END OF THE PLATE & @ NO MORE THAN 900mm CRS
 - Ⓢ 2515mm FROM FFL TO INSIDE OF TRUSSES BOTTOM CHORD THROUGHOUT
 - Ⓢ 13mm GIB LINING TO ALL INTERNAL WALLS
 - ROOF FRAMING**
 - Ⓢ LIGHT STORAGE ATTIC TRUSSES WITH ATTIC STAIRS OVER GARAGE
 - Ⓢ DOUBLE LAYER 13mm GIB LINING TO ALL SCISSOR TRUSS CEILINGS
 - Ⓢ 13mm GIB LINING TO ALL STANDARD CEILINGS
 - Ⓢ 13mm GIB AQUALINE TO ALL WET AREA CEILINGS UNDERLAYS
 - Ⓢ ROOF - PAULOID BITUMINOUS ROOF UNDERLAY
 - Ⓢ WALL - FPS FAKRO EUROTOP N35 WEATHERTIGHT FLEXIBLE WALL UNDERLAY
 - JOINERY**
 - Ⓢ 2250mm HEAD HEIGHT TO ALL JOINERY
 - Ⓢ ALL JOINERY DOUBLE GLAZED WITH THERMAL HEART
 - Ⓢ ALL GLAZING TO COMPLY WITH NZ4223 - 2016
 - HEATING**
 - Ⓢ GAS FIREPLACE INSTALLED TO MANUFACTURERS SPECIFICATIONS. DETAILS TBC. FLUE TO PENETRATE RIDGE.
 - Ⓢ HEATED TOWEL RAILS TO BATHROOM AND ENSUITE INSTALLED TO MANUFACTURERS SPECIFICATIONS
 - WARNING SYSTEMS**
 - Ⓢ DOMESTIC SMOKE ALARMS ARE REQUIRED WITHIN 3.0m OF EVERY SLEEPING SPACE DOOR
 - STORMWATER & WASTEWATER DISPOSAL**
 - Ⓢ STORMWATER DISPOSAL TO ON SITE DISPOSAL SYSTEM. DETAILS TBC.
 - Ⓢ WASTEWATER DISPOSAL TO ON SITE SEPTIC SYSTEM. DETAILS TBC.
 - FOUNDATIONS**
 - Ⓢ WJL RIBRAFT FLOOR SYSTEM
 - GENERAL**
 - Ⓢ DOUBLE LAYER 3.6 INSULATION TO ALL CEILINGS



* ALL CONSTRUCTION MUST BE BUILT IN COMPLIANCE WITH CURRENT NEW ZEALAND BUILDING CODE *

* ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION COMMENCING *

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G.J. Gardner HOMES
New Zealand's favourite home builder

ph: 03 442 8840
e: queenstown@gjgardner.co.nz
client:

WINTON PARTNERS
Wind Zone: HIGH AS PER TRUSS TECH REPORT 200960P
site address:
RIVER TERRACE CROMWELL
Lot 5, DPTBC

job no: 21-123
scale: 1:50 WHEN PRINTED ON A2 PAPER
sheet: 15
drawn: AKC
checked: AKC
date: 28/09/2021
ph: 07 578 1611
e: info@cornerstonedesign.co.nz

homestar Assessor

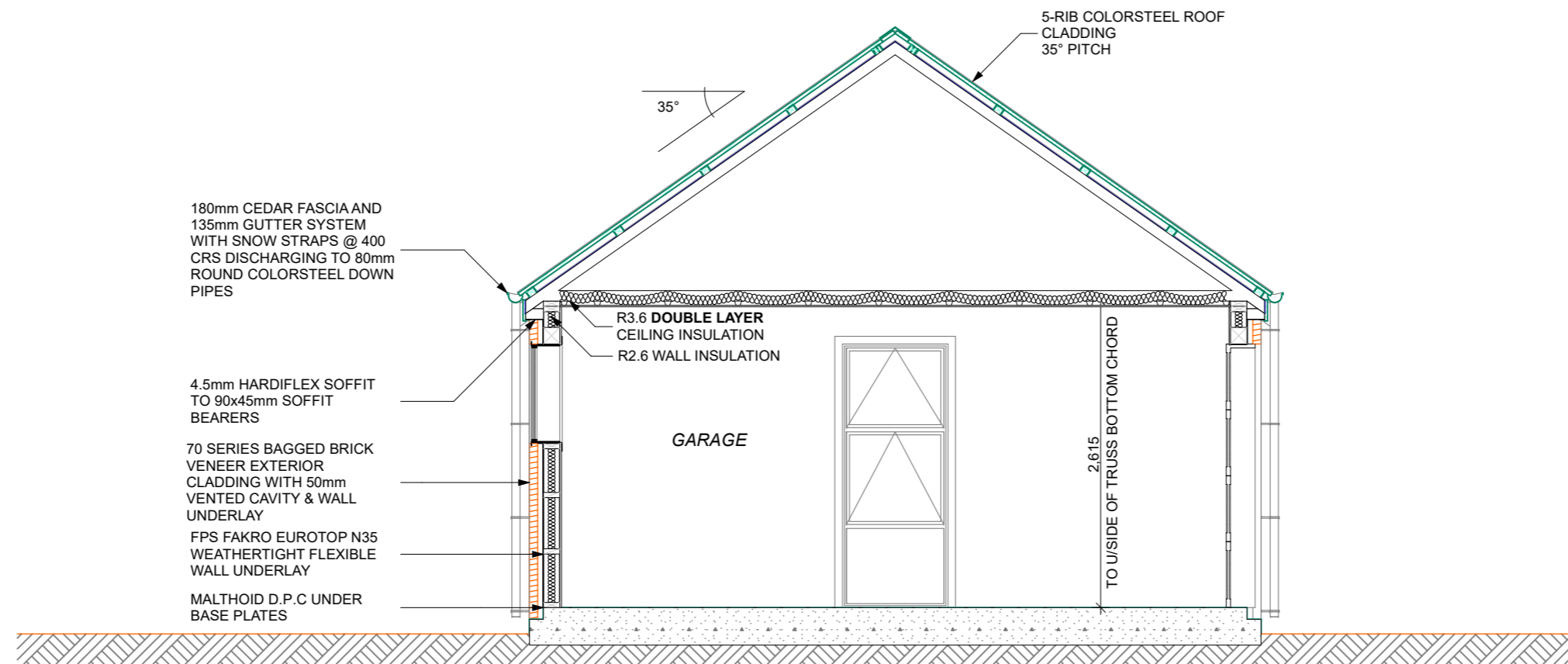
CORNERSTONE DESIGN



Plan drawings prepared on the understanding that the Building Contractor has a firm understanding of the NZ Building Code and NZS 3604 : 2011. All contractors or Authorised parties of the Owner or Builder shall ensure that all works complies with the requirements of the Territorial Authority & NZ Building Code and NZS 3604:2011 . Any work undertaken outside these requirements without the prior written approval of the Designer, Engineer and/or the Territorial Authority hereby indemnifies the Designer against any claims in respect of the said work.

Cross Section B

All dimensions & underground service locations are to be checked prior to commencement of anyworks. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to any earthworks. If any discrepancies occur, contact the Designer immediately before commencing works or ordering. COPYRIGHT: These drawings remain the property of GJ Gardner Homes and are provided for use as described above and may not be used or re-produced in whole or part without written permission. Producer statements are to be issued by all suppliers & tradesmen where applicable. Any site/construction works are not to commence until building permit is issued.




- Notes:**
- TECHNICAL**
- a) WHERE STUD SPACINGS ARE GREATER THAN 450mm AN INTERMEDIATE MEANS OF RESTRAINING THE BUILDING WRAP AND INSULATION FROM BULGING INTO THE DRAINED CAVITY SHALL BE INSTALLED USING
 - a) 75mm GALVANIZED MESH
 - b) POLYPROPYLENE TAPE AT 300mm CENTRES
 - c) GALVANIZED WIRE AT 300mm CRS FIXED TO DWANGS OVER THE BUILDING WRAP
 - d) VERTICAL CAVITY BATTENS AT 300mm CRS
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 - h) KITCHEN BENCH TOPS TO BE 38mm LAMINATE, CABINETRY TO BE 18mm MELAMINE & SPLASH BACKS TO BE TILED UNLESS OTHERWISE NOTED
 - WALL FRAMING**
 - i) BOTTOM PLATE ANCHORS MUST BE WITHIN 150mm OF EACH END OF THE PLATE & @ NO MORE THAN 900mm CRS
 - j) 2615mm FROM FFL TO USIDE OF TRUSSES BOTTOM CHORD THROUGHOUT
 - k) 13mm GIB LINING TO ALL INTERNAL WALLS
 - ROOF FRAMING**
 - l) LIGHT STORAGE ATTIC TRUSSES WITH ATTIC STAIRS OVER GARAGE
 - m) DOUBLE LAYER 13mm GIB LINING TO ALL SCISSOR TRUSS CEILING
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 - UNDERLAYS**
 - p) ROOF - PAULOID BITUMINOUS ROOF UNDERLAY
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 - JOINERY**
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 - FOUNDATIONS**
 - z) WJL RIBRAFT FLOOR SYSTEM
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 - aa) DOUBLE LAYER 3.6 INSULATION TO ALL CEILING

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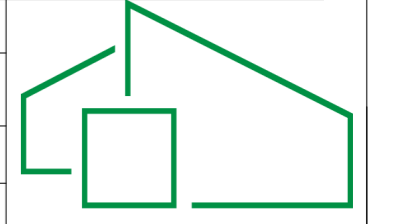
ph: 03 442 8840
e: queenstown@gjgardner.co.nz
client:

WINTON PARTNERS
Wind Zone: HIGH AS PER TRUSS TECH REPORT 200960P
site address:
RIVER TERRACE CROMWELL
Lot 5, DPTBC

job no: 21-123
scale: 1:50
WHEN PRINTED ON A2 PAPER
sheet: 16

Owner's signature
Date
GJ Gardner Homes' signature
Date

drawn: AKC
checked: AKC
date: 28/09/2021



CORNERSTONE DESIGN
ph: 07 578 1611
e: info@cornerstonedesign.co.nz

Cross Section C



Plan drawings prepared on the understanding that the Building Contractor has a firm understanding of the NZ Building Code and NZS 3604 : 2011. All contractors or Authorised parties of the Owner or Builder shall ensure that all works complies with the requirements of the Territorial Authority & NZ Building Code and NZS 3604:2011 . Any work undertaken outside these requirements without the prior written approval of the Designer, Engineer and/or the Territorial Authority hereby indemnifies the Designer against any claims in respect of the said work.



LANDSCAPING (INDICATIVE)



Roofing: Longrun Iron - Colour 'Flaxpod'
 Colorsteel Fascia: Colour 'Flaxpod'
 Quad Gutter: Colour 'Flaxpod'
 Flat Soffit Over Entry Portal: Cedar Weatherboard - 'Wood-X Aspiring'
 Colorsteel Downpipes (80mm): Colour 'Flaxpod'
 Bagged Brick Cladding: Smooth Painter Brick - Bagged - Paint Finish 'Dulux Wigram'
 Cedar Weatherboard Cladding: 'Wood-X Aspiring'
 Stria Cladding: Paint Finish - 'Dulux Ironsand'
 Window Joinery: Colour 'Flaxpod'
 Obscure Glass Type: Frosted Glass to Bathroom & Ensuite
 Handle Style: Urbo with D-pull to sliders
 Entry Door: Plasma Powdercoated Entry Door - Colour 'Flaxpod'
 Handle Style: Icon Architectural
 Garage Doors: Dominator Futura - Colour 'Flaxpod'

PRECEDENT IMAGES



EXTERIOR MATERIALS & COLOURS



Smooth Painter Brick, Flush Joint, Bagged Finish

BAGGED RECYCLED BRICK

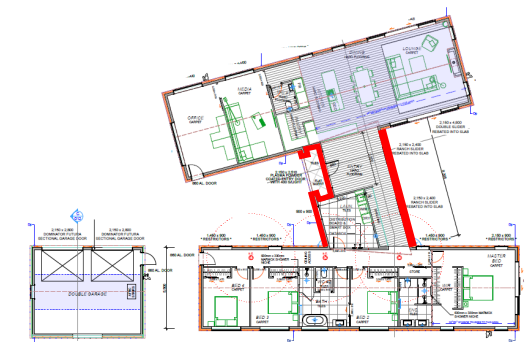
Dulux C1
Wigram

PAINT FINISH TO BAGGED BRICK

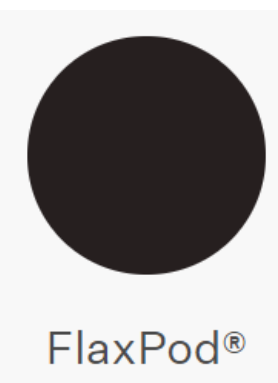


Wood-X 'Aspiring' stain

CEDAR WEATHERBOARD



Cedar weatherboard to these aspects



COLORSTEEL 'FLAXPOD' LONGRUN ROOFING, ALUMINIUM JOINERY, ENTRY DOORS, GARAGE DOORS, GUTTERING, DOWN-PIPES

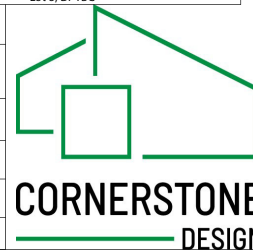


PAINT FINISH TO STRIA CLADDING (GARAGE)



ph: 03 442 8840
 e: queenstown@gjgardner.co.nz
 client:
WINTON PARTNERS
 Wind Zone: HIGH AS PER TRUSS TECH REPORT
 200960P
 site address:
**RIVER TERRACE
 CROMWELL**
 Lot 5, DPTBC

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21-123
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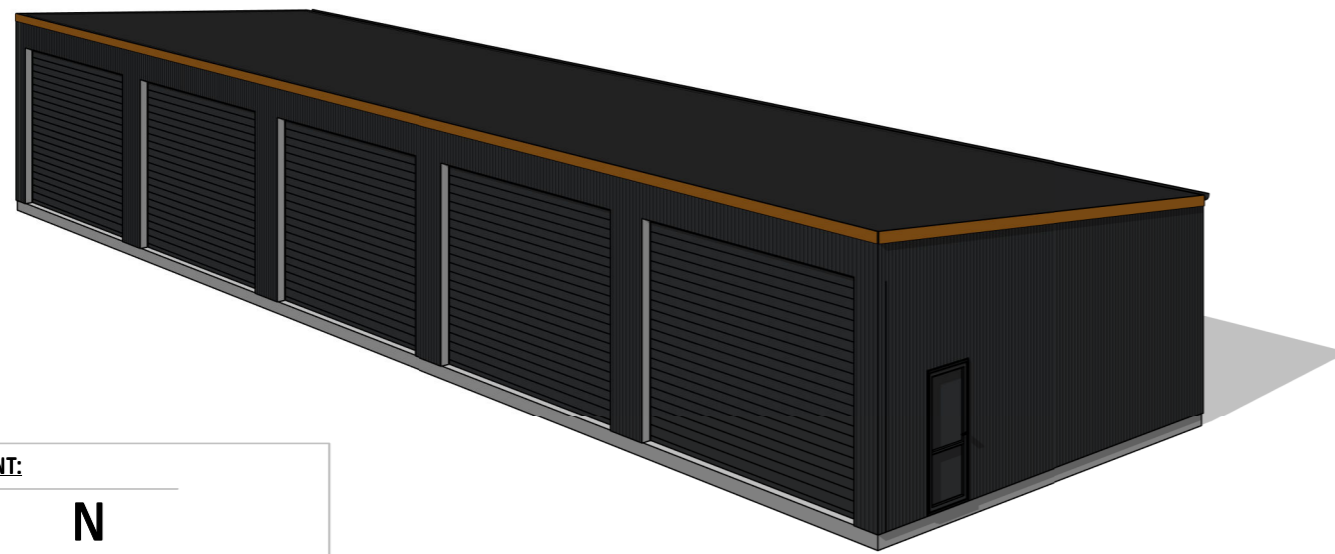


Elevations

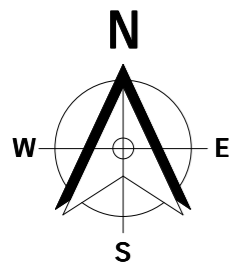
GJ Gardner Homes, Central Otago

2109 - G047

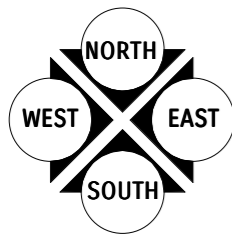
River Terrace, Cromwell 9310



NORTH POINT:



ELEVATION VIEWS:



DESIGN FACTORS

IMPORTANCE LEVEL: 1
 CLIMATE ZONE: 3
 EARTHQUAKE ZONE: 2
 EXPOSURE ZONE: B
 RAINFALL RANGE: 30-40
 WIND REGION: A
 WIND ZONE: HIGH
 WIND SPEED: UP TO 44.0M/S

CONTACT INFORMATION:

CONTACT NAME: NICK TAPPER & CHRIS HOGAN
 BUSINESS NAME: GJ GARDNER HOMES, CENTRAL OTAGO
 CONTACT ADDRESS: 37 REECE CRESCENT, WANAKA
 CONTACT EMAIL: NICK.TAPPER@GJGARDNER.CO.NZ

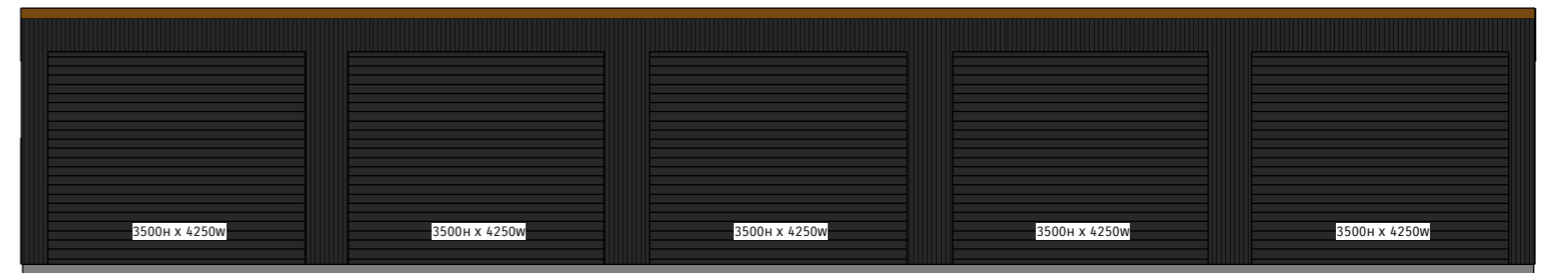
BUILDING INFORMATION:

ROOF CLADDING
 5° 0.40MM TRAPEZOIDAL PROFILED COLORSTEEL IN FLAXPOD
 1/4 ROUND GUTTERS TO MATCH ROOF COLOUR

WALL CLADDING
 0.40MM TRAPEZOIDAL PROFILED COLORSTEEL IN FLAXPOD
 DOWNPIPES TO MATCH WALL COLOUR

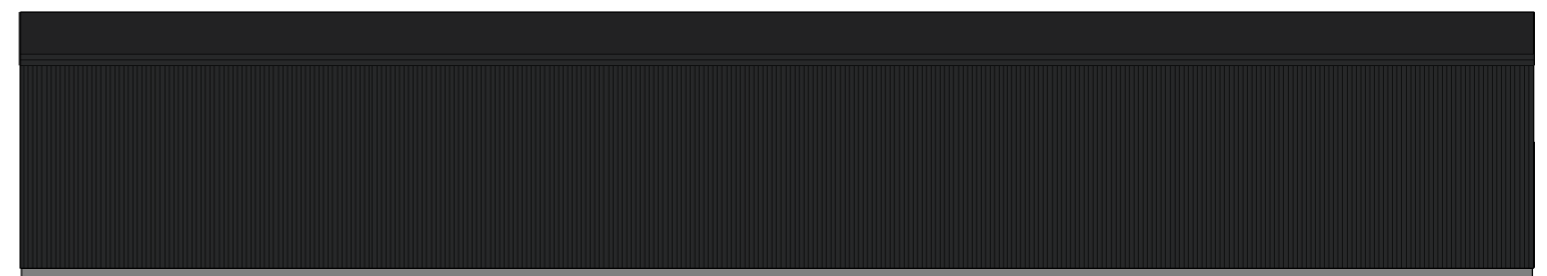
JOINERY
 ALTHERM DOUBLE GLAZED WINDOWS AND DOORS IN FLAXPOD

ROLLER DOORS
 WINDSOR RDN STEEL SHUTTERS IN FLAXPOD



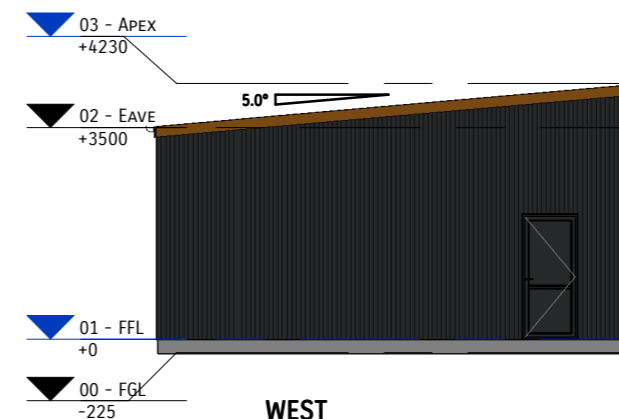
SOUTH

1 : 125



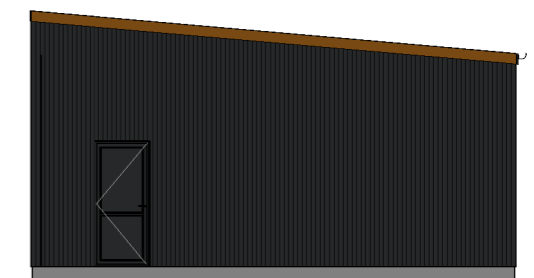
NORTH

1 : 125



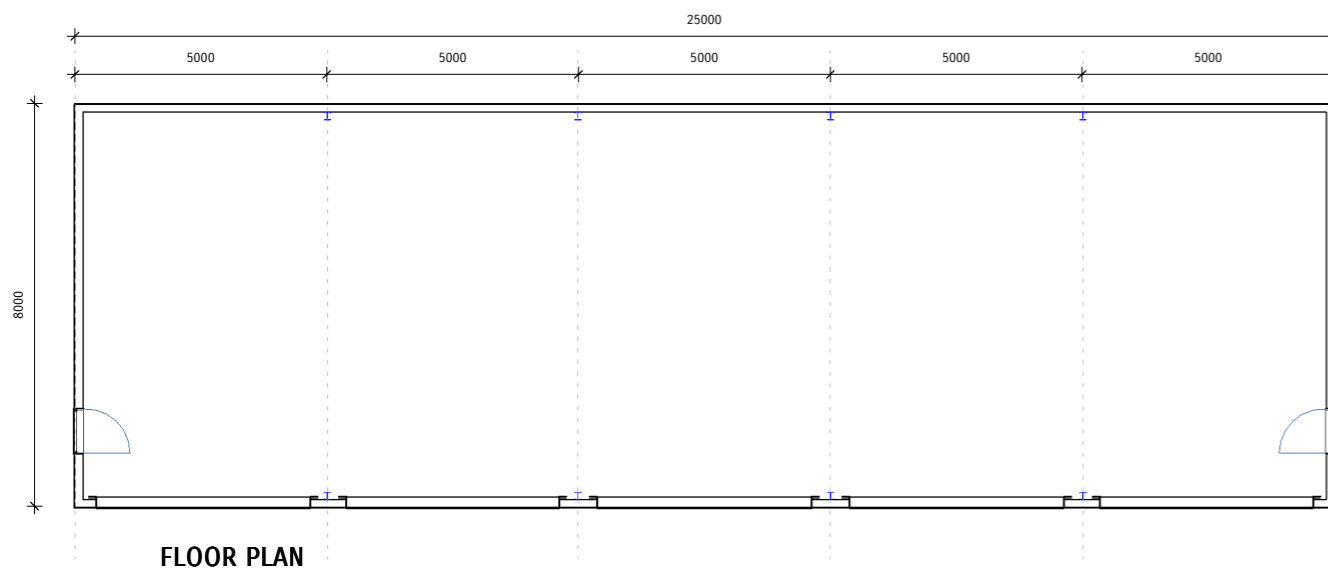
WEST

1 : 125



EAST

1 : 125



FLOOR PLAN

1 : 150